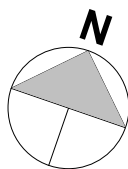


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12216-AEW-XX-XX-M3-A-0001

Client notified of duties: **Jan 2021**
Principal Designer: **CPC**

Unless noted below, all known hazards have been highlighted on the drawing:



P02	20/12/21	Site Boundary Updated and issued for Planning	DS	BR
P01	25/11/21	Issued For Planning	DS	BR
Rev	Date	Description	Drawn By	Checked By

drawing stage **Developed Design**

client

Great Places Housing Group

project

Radcliffe, ELPM Island Site

drawing title

Location Plan

date 25/11/21 drawn DS
scale @ A4 1 : 1250 checked CS

NOTES

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- This drawing contains the following model files: -
12216-AEW-XX-XX-M3-A-0001

CDM 2015

Client notified of duties: Jan 2021

Principal Designer: CPC
Notified below, all known hazards have been highlighted on the drawing:

Accommodation Schedule

- 17 1 Bed Apartments (45.0-48.0m²)
- 3 2 Bed Apartments (57.15m²)

20 Apartments

House Schedule

- 5 3 Bed House (91.1m²) Plots 2 & 8
- 2 4 Bed House (101.0m²) Plots 1 & 7

7 Houses

27 Total Units

Key

- Site Boundary
- Culvert
- Culvert Easement Zone
- Water Main
- Public Sewer
- Substation
- Existing trees to be removed

Dotted, future Third Party realigned.

CUNLIFFE STREET & BAYBUTT STREET TO BE OFFERED FOR ADOPTION

P04	27/05/22	Lay by parking amended	DS	BR
P03	04/04/22	Revised Following planner/client feedback	DS	BR
P02	20/12/21	Site Boundary Updated and issued for Planning	DS	BR
P01	20/11/21	Issued For Planning	DS	BR
Rev	Date	Description	Drawn by	Checked by

Status Purpose of Issue
S2 Planning

drawing stage Developed Design

client

Great Places Housing Group

project

Radcliffe, ELPN Island Site

drawing title

Proposed Site Plan - Including Constraints

date 25/11/21 drawn DS
scale @ A1 As indicated checked CS

Rev P04

12216-AEW-XX-XX-DR-A-0514

Dwg No

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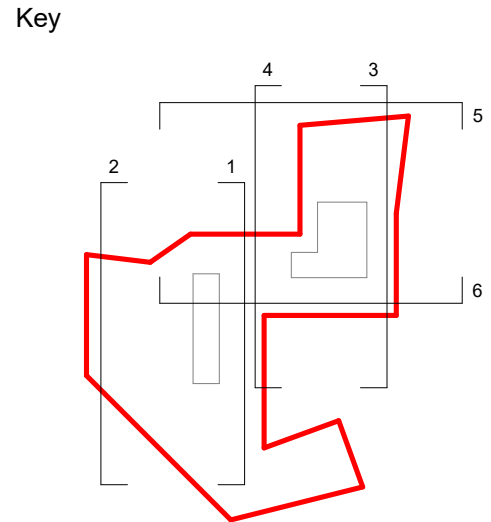
This drawing contains the following model files: -
12216-AEW-XX-XX-M3-A-0001

CDM 2015

Client notified of duties: Jan 2021

Principal Designer: GPC

Unless noted below, all known hazards have been highlighted on the drawing.



1 Street Elevation - Baybutt Street
Scale @ 1 : 100



2 Street Elevation - New Road
Scale @ 1 : 100



3 Street Elevation - Cock Clod Street
Scale @ 1 : 100



4 Street Elevation - Pollitt Street
Scale @ 1 : 100

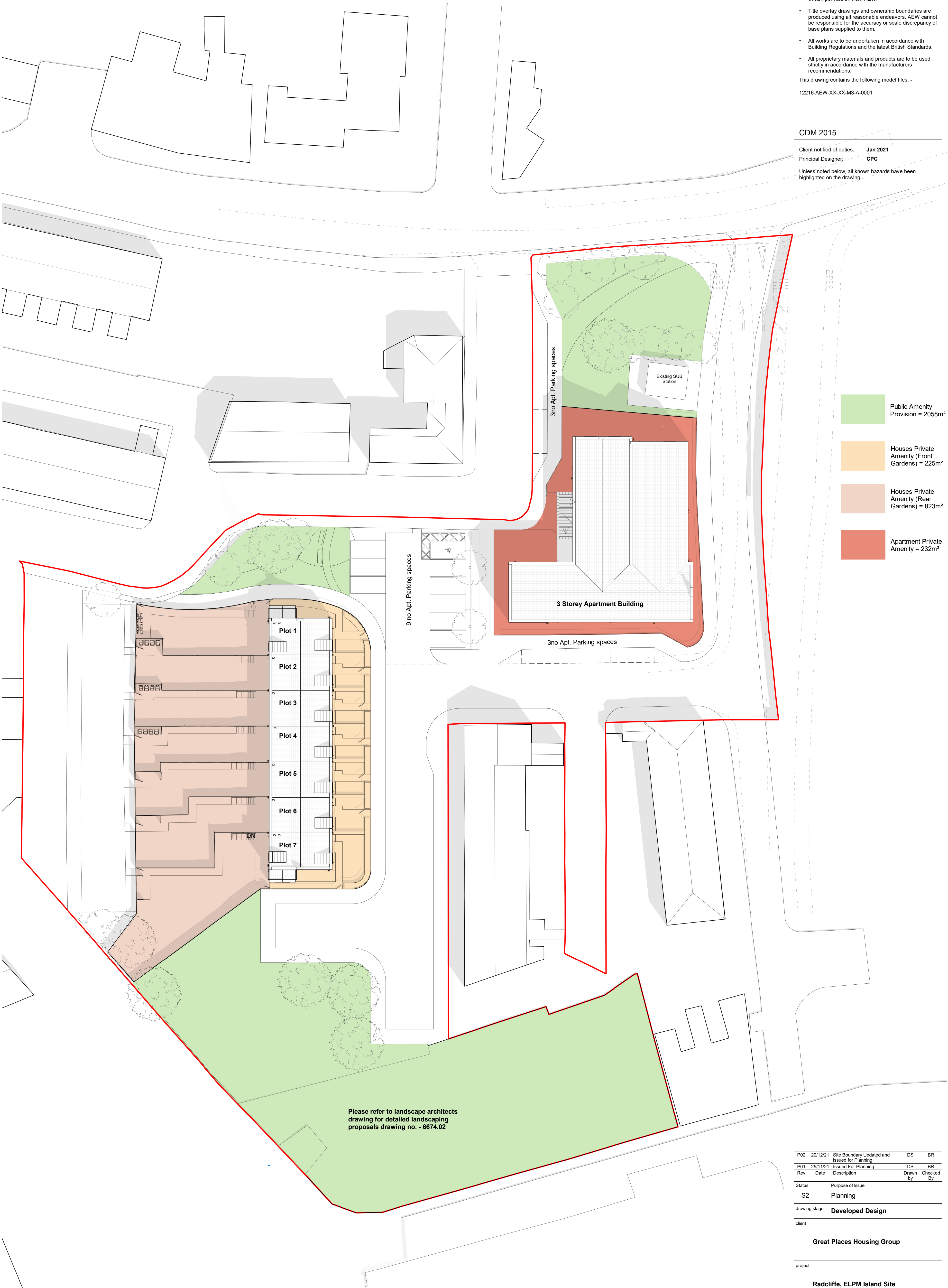


5 Street Elevation - Spring Lane / Cross Lane
Scale @ 1 : 100



6 Street Elevation - Cunliffe Street
Scale @ 1 : 100

PO3	30/05/22	Minor alterations to Apartment entrance canopy and southern facade illumination	DS	BR
PO2	21/12/21	Drawing updated following Planning	DS	BR
PO1	25/11/21	Issued For Planning	DS	BR
Rev	Date	Description	Drawn By	Checked By
S2		Purpose of Issue		
		For Information		
drawing stage				
Developed Design				
client				
Great Places Housing Group				
project				
Radcliffe, ELPN Island Site				
drawing title				
Street Elevations - Proposed				
date	18/06/2012	drawn	DAL	
scale @ A0	1 : 100	checked	DS	



NOTES

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- This drawing contains the following model files: -
12216-AEW-XX-XX-M3-A-0001

CDM 2015

Client notified of duties: Jan 2021
Principal Designer: CPC
Unless noted below, all known hazards have been highlighted on the drawing:

- Public Amenity Provision = 2058m²
- Houses Private Amenity (Front Gardens) = 225m²
- Houses Private Amenity (Rear Gardens) = 823m²
- Apartment Private Amenity = 232m²

P02	20/12/21	Site Boundary Updated and Issued for Planning	DS	BR
P01	25/11/21	Issued For Planning	DS	BR
Rev	Date	Description	Drawn By	Checked By

Status Purpose of Issue
S2 Planning

drawing stage Developed Design

client Great Places Housing Group

project Radcliffe, ELPm Island Site

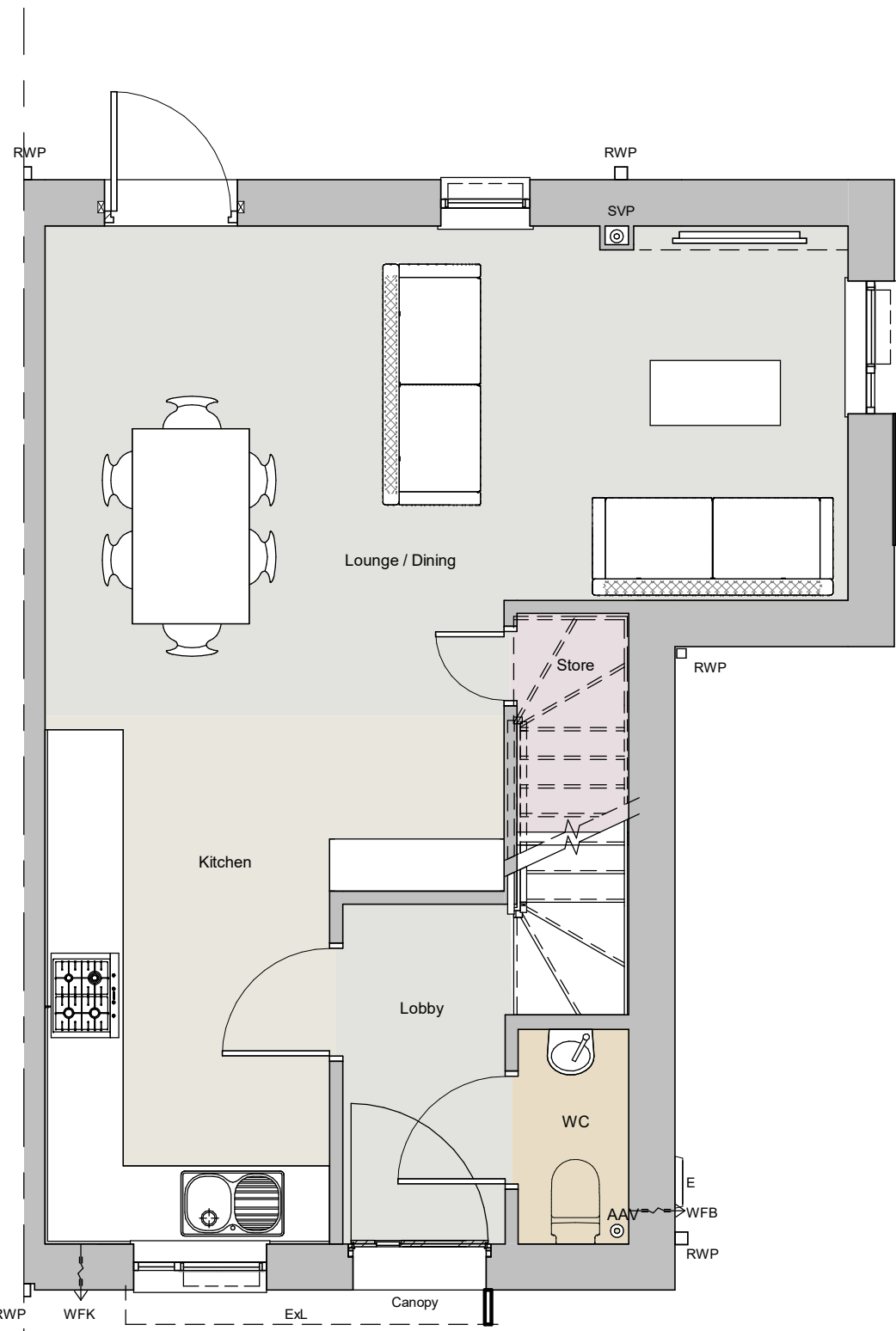
drawing title Proposed Site Plan - Amenity Provision

date 26/11/21 drawn DS
scale @ A1 1 : 250 checked BR

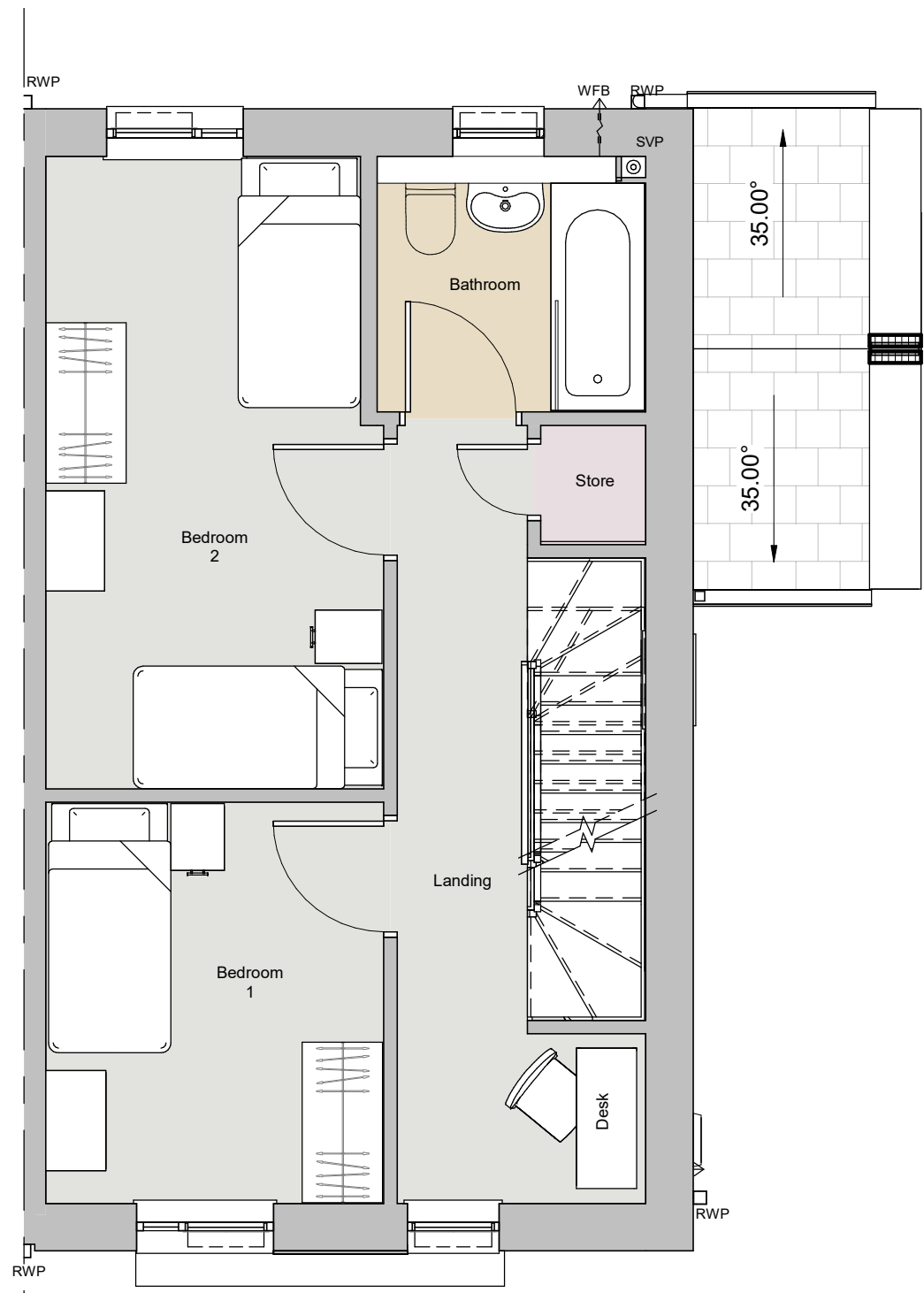
Rev P02

12216-AEW-XX-XX-DR-A-0518

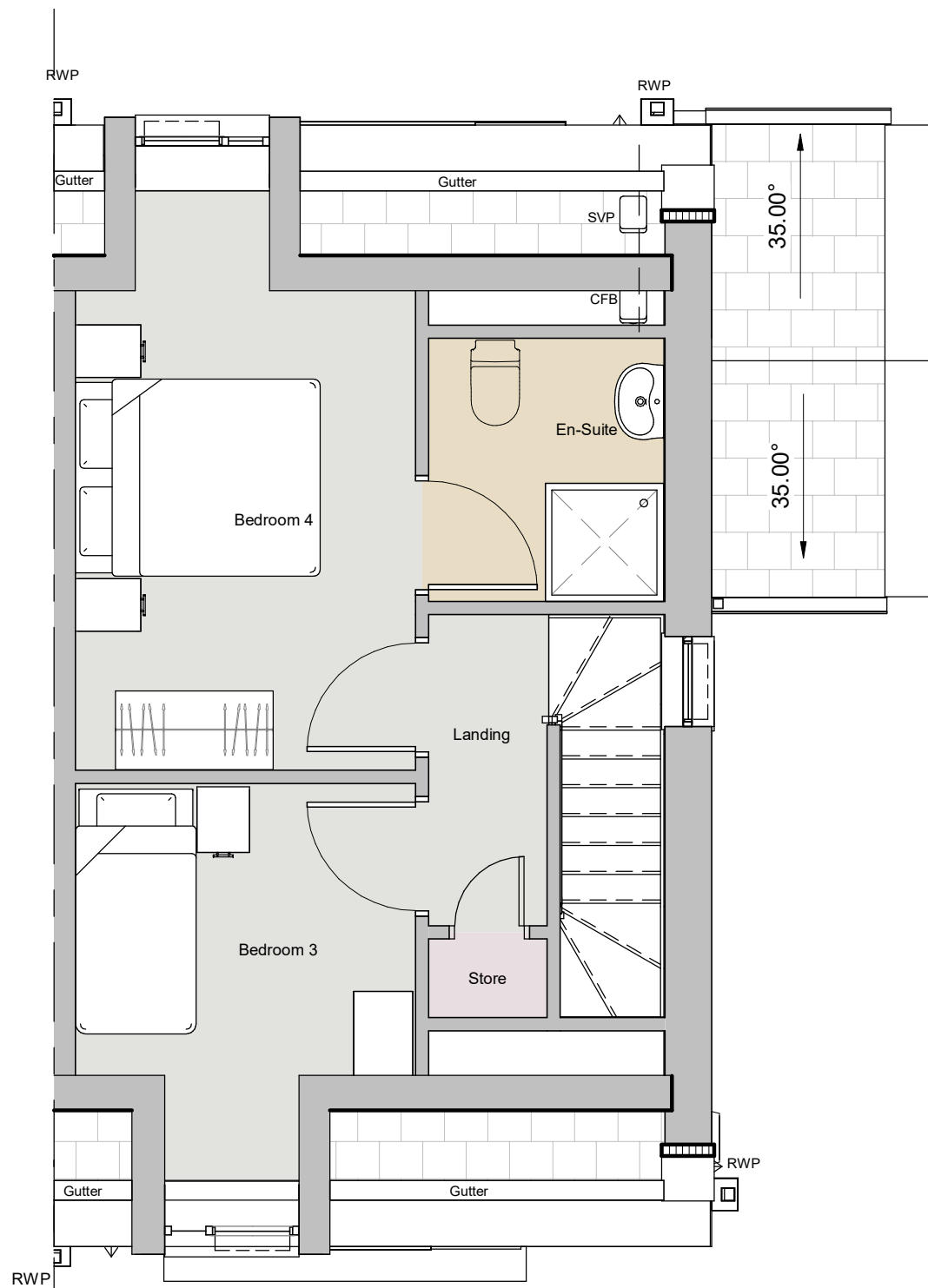
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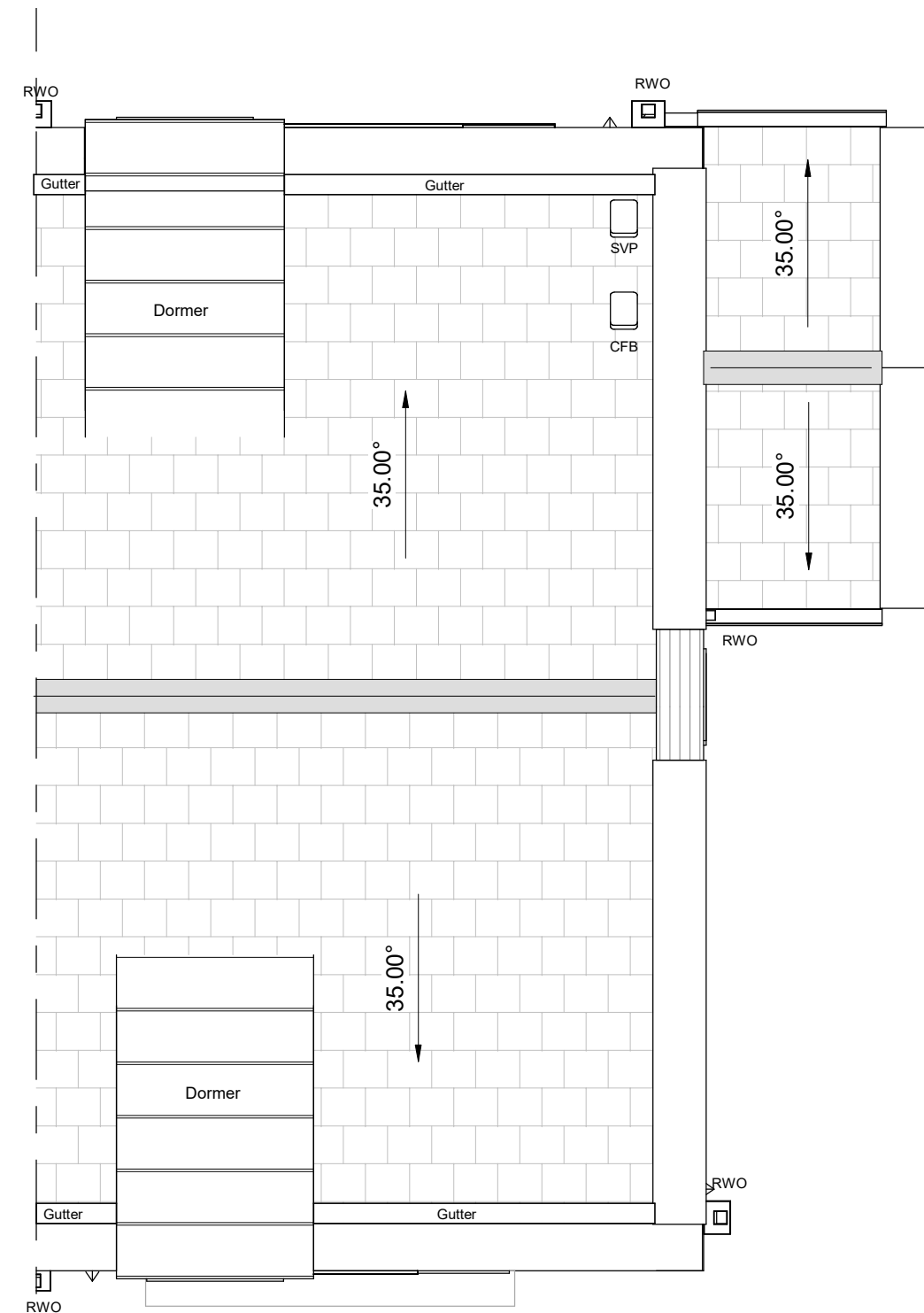
Ground Floor
Scale @ 1 : 50



First Floor
Scale @ 1 : 50



Second Floor
Scale @ 1 : 50



Roof Plan
Scale @ 1 : 50

NOTES

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This drawing contains the following model files: -

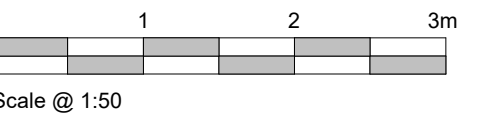
12216-AEW-02-XX-M3-A_House Type 2 3B5P 84m² [P.01]
[S0]

CDM 2015

Client notified of duties: **2020**
Principal Designer: **CPC**

Unless noted below, all known hazards have been highlighted on the drawing:

House Type 2 - 4B6P - Area Schedule (GIA)	
Name	Area
HT2 - 00 Ground Floor	39.9 m²
HT2 - 01 First Floor	35.1 m²
HT2 - 02 Second Floor	26.1 m²
	101.0 m²



KEY

- RWP Rain water downpipe
RWO Rain water outlet
SVP Soil Vent pipe
AAV Air Admittance Valve
WFB Wall mounted bathroom extract fan (min extract rate of 15 ltr/sec)
CFB Cavity Fire Barrier
WFK Wall mounted Kitchen extract fan (min extract rate of 60 ltr/sec)
BF Boiler flue
EXL Low Energy External light fitting with PIR sensor (min efficacy of 40 lumens per circuit watt) to comply with SBD.
L Glazing with laminated glass outer leaf
T Glazing with toughened inner leaf
E Egress windows to comply with building Regulations requirements
OB Glazing with Obscure glass
G Gas Meter
E Electricity Meter
RL Roof Light
AH Access Hatch

P3	24.11.21	DS	BR
Planning Submission			
P2	22.10.21	DS	BR
Updated following client feedback			
P1	08.10.21	DAL	DS
Initial Issue			
REV	Date	Drawn by: -	Checked by: -
Status	Purpose of Issue		
S2	Planning		
drawing stage	Developed Design		
client			

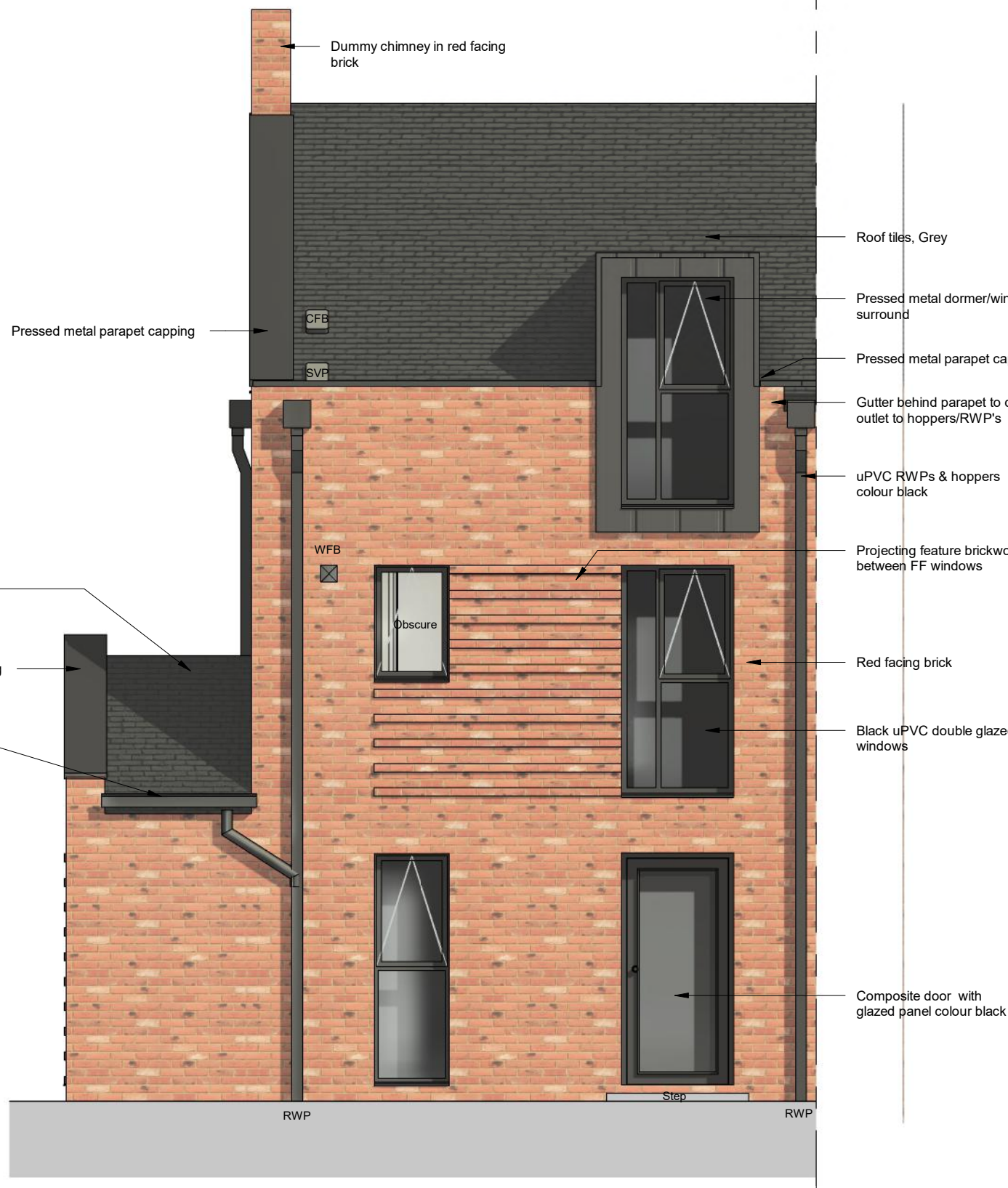
project
Radcliffe - ELPM Island Site

drawing title
House Type 2 - 4B6P - Plot 1

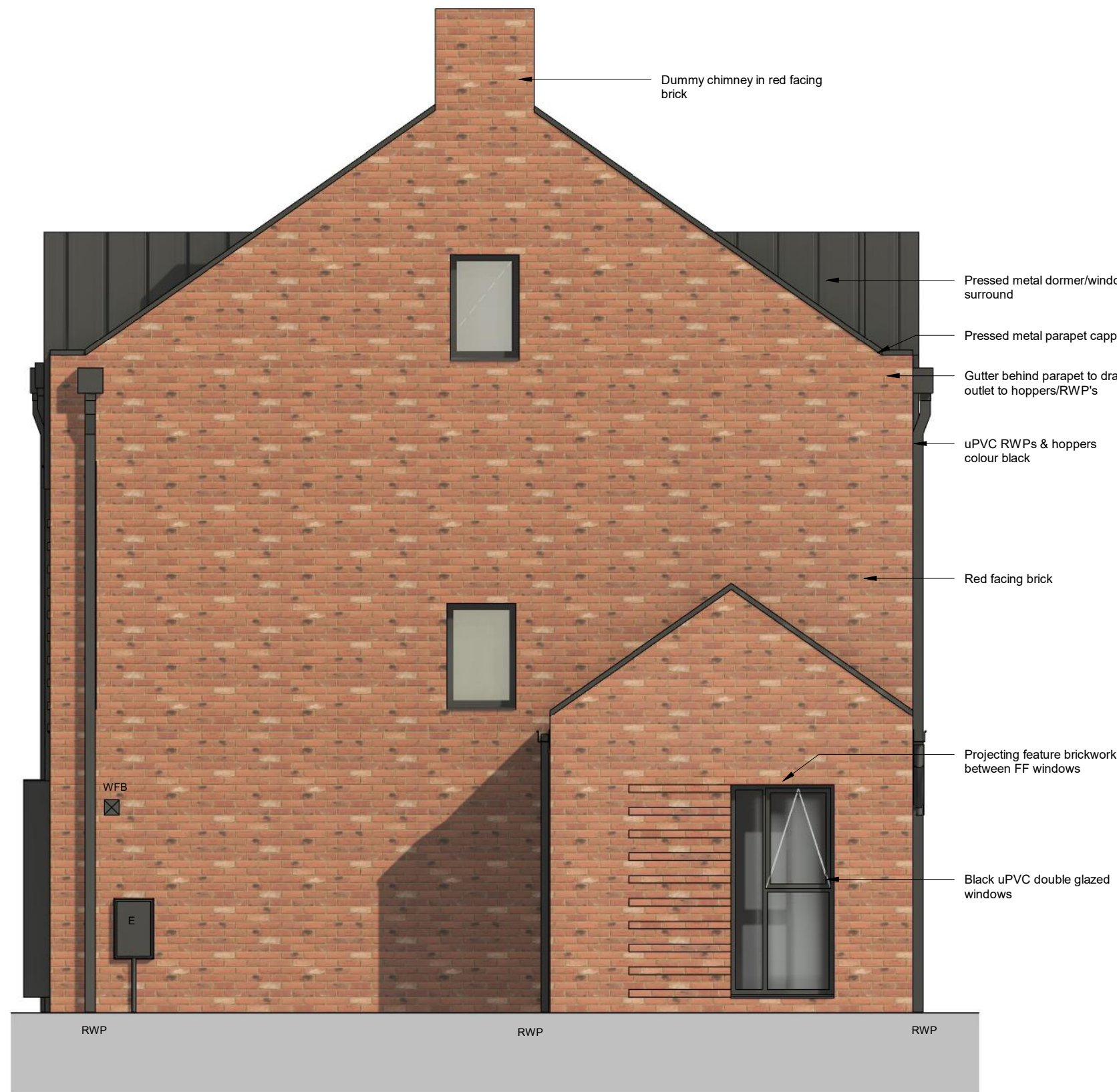
date 25.11.21 drawn DAL
scale @ A1 1 : 50 checked DS



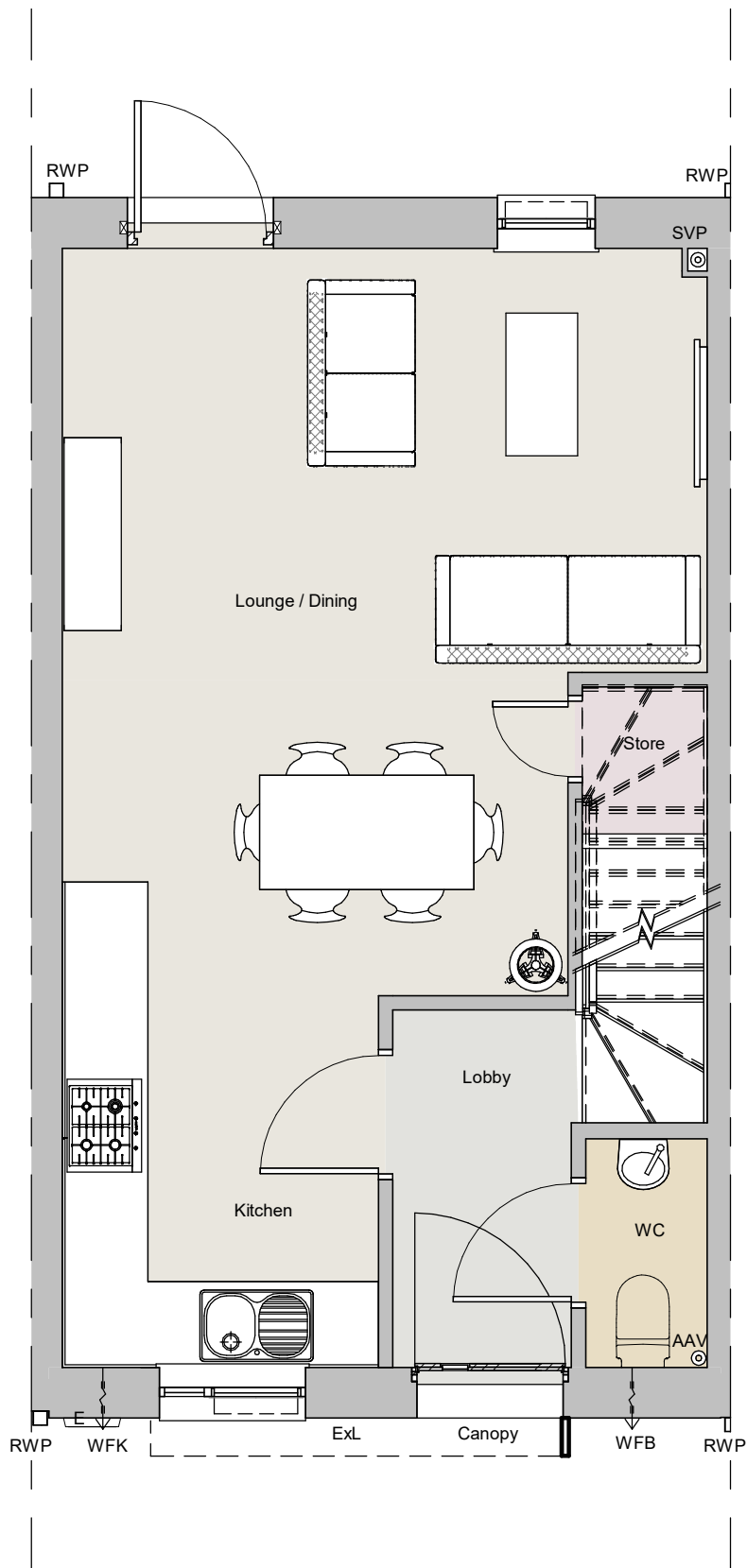
Front Elevation
Scale @ 1 : 50



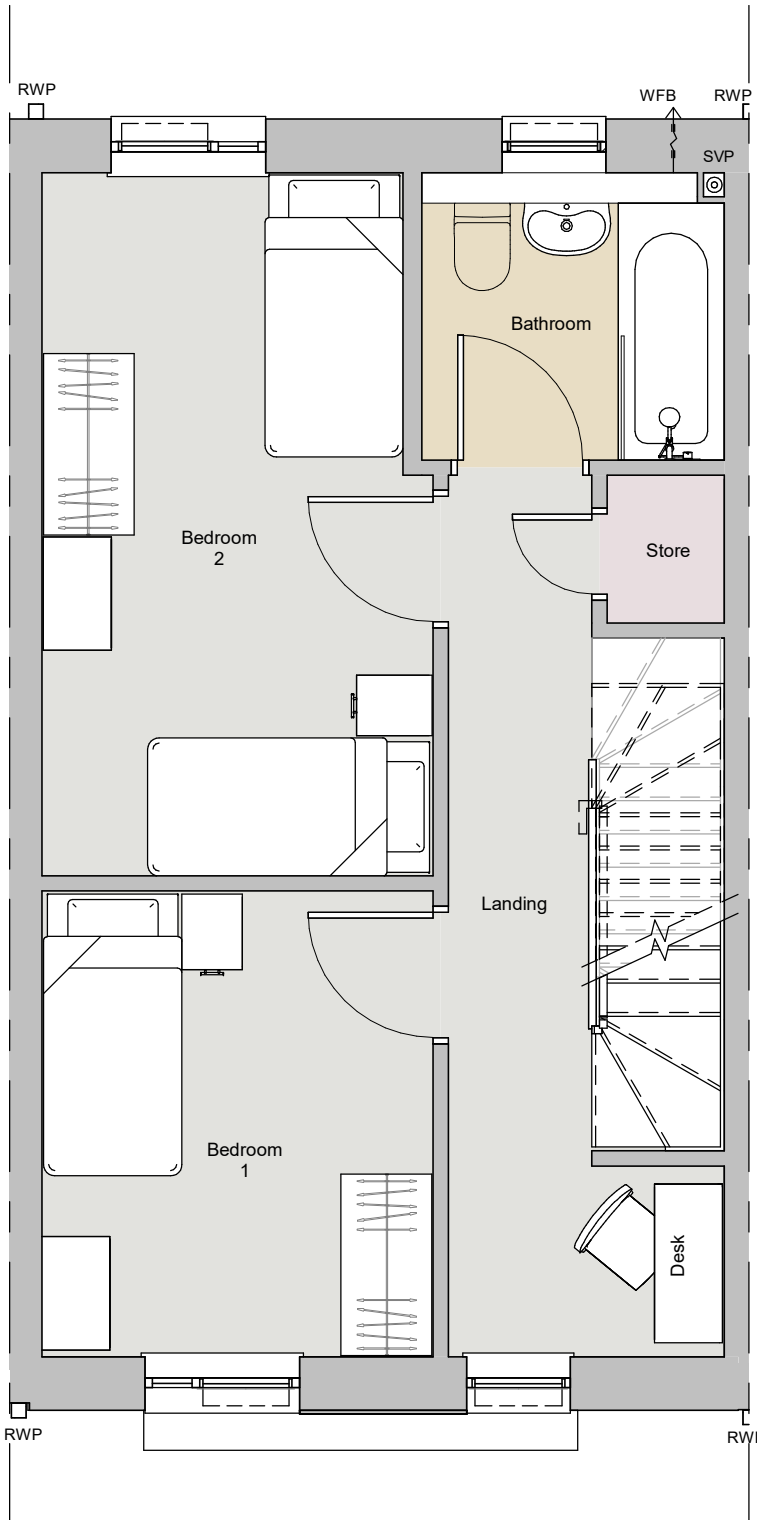
Rear Elevation
Scale @ 1 : 50



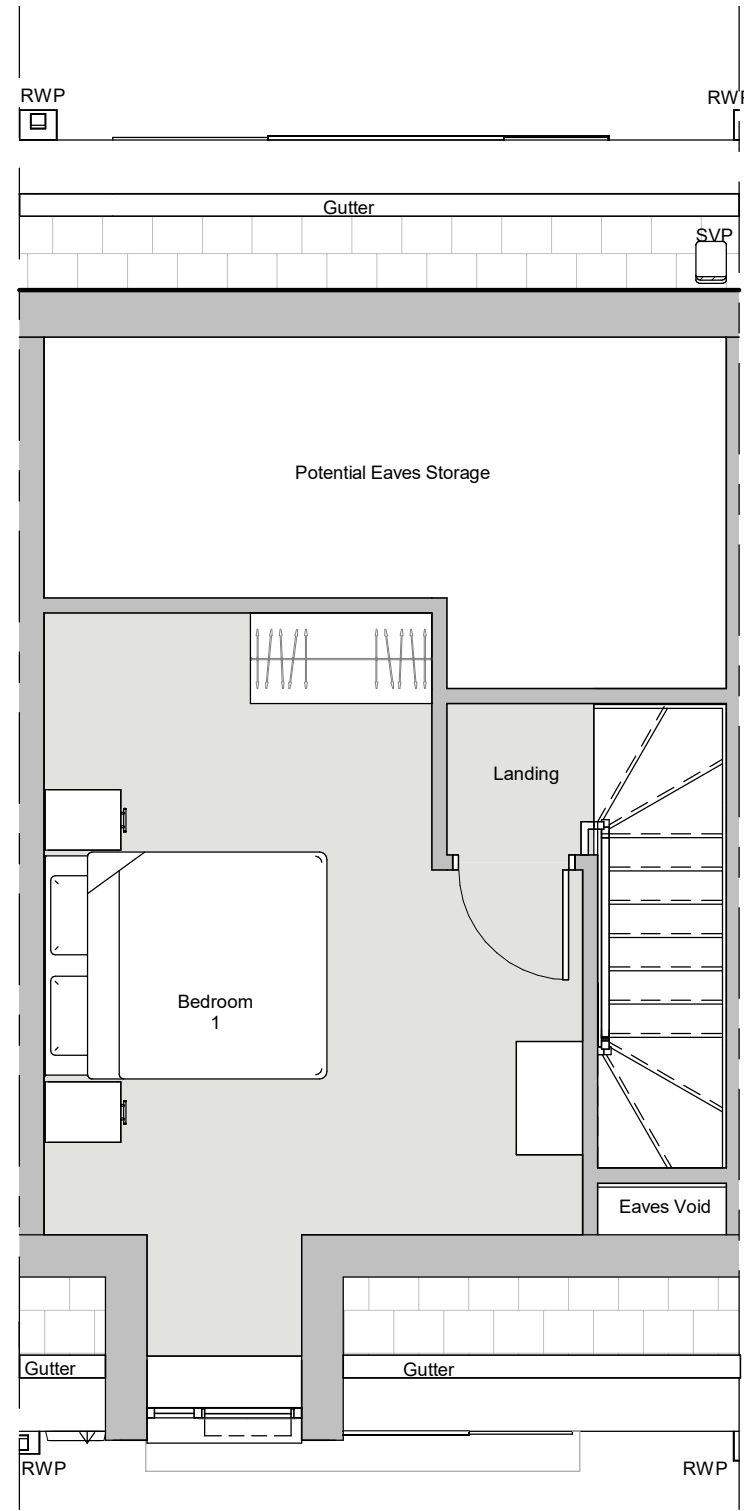
Gable Elevation
Scale @ 1 : 50



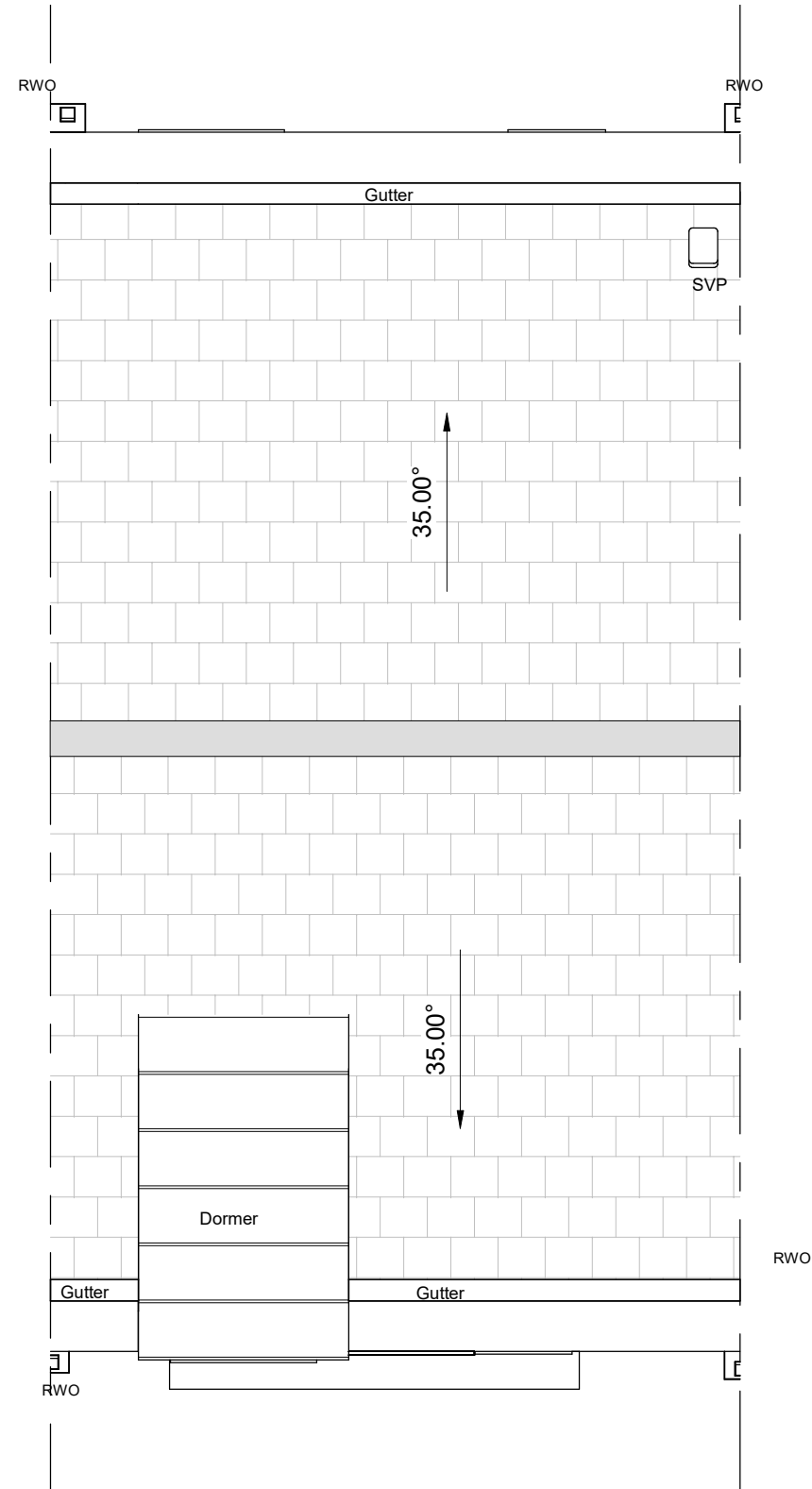
Ground Floor
Scale @ 1 : 50



First Floor
Scale @ 1 : 50



Second Floor
Scale @ 1 : 50



Roof Plan
Scale @ 1 : 50



Front Elevation
Scale @ 1 : 50



Rear Elevation
Scale @ 1 : 50

NOTES

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This drawing contains the following model files :-

12216-AEW-02-XX-M3-A_House Type 2 3B5P 84m² [P.01]
[S0]

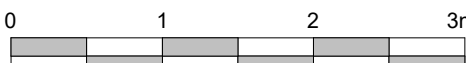
CDM 2015

Client notified of duties: **2020**
Principal Designer: **CPC**

Unless noted below, all known hazards have been highlighted on the drawing:

House Type 1 - 3B5P - Area Schedule (GIA)

Name	Area
HT1 - 00 Ground Floor	35.3 m²
HT1 - 01 First Floor	35.3 m²
HT1 - 02 Second Floor	16.9 m²
	87.5 m²



Scale @ 1:50

KEY

- RWP Rain water downpipe
RWO Rain water outlet
SVP Soil Vent pipe
AAV Air Admittance Valve
WFB Wall mounted bathroom extract fan (min extract rate of 15 ltr/sec)
CFB Cavity Fire Barrier
WFK Wall mounted Kitchen extract fan (min extract rate of 60 ltr/sec)
BF Boiler flue
EXL Low Energy External light fitting with PIR sensor (min efficacy of 40 lumens per circuit watt) to comply with SBD.
L Glazing with laminated glass outer leaf
T Glazing with toughened inner leaf
E Egress windows to comply with building Regulations requirements
OB Glazing with Obscure glass
G Gas Meter
E Electricity Meter
RL Roof Light
AH Access Hatch

P3	24.11.21	DS	BR
Planning Submission			
P2	22.10.21	DS	BR
Floor plan revised following client feedback			
P1	08.10.21	DAL	DS
Initial Issue			
REV	Date	Drawn by :-	Checked by :-
Status	Purpose of Issue		
S2	Planning		

drawing stage **Developed Design**

client
Great Places Housing Group

project
Radcliffe - ELPM Island Site

drawing title
House Type 1 - 3B5P - Plots 2-6

date 25.11.21 drawn DAL
scale @ A1 1 : 50 checked DS

Rev

P3

12216-AEW-XX-XX-DR-A-0520

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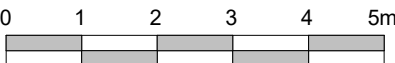
This drawing contains the following model files: -

12XXX-AEW-XX-XX-M3-A-0001

CDM 2015

Client notified of duties: **December 2020**
Principal Designer: **CPC**

Unless noted below, all known hazards have been highlighted on the drawing:



Scale @ 1:100

Area Schedule (Rentable)

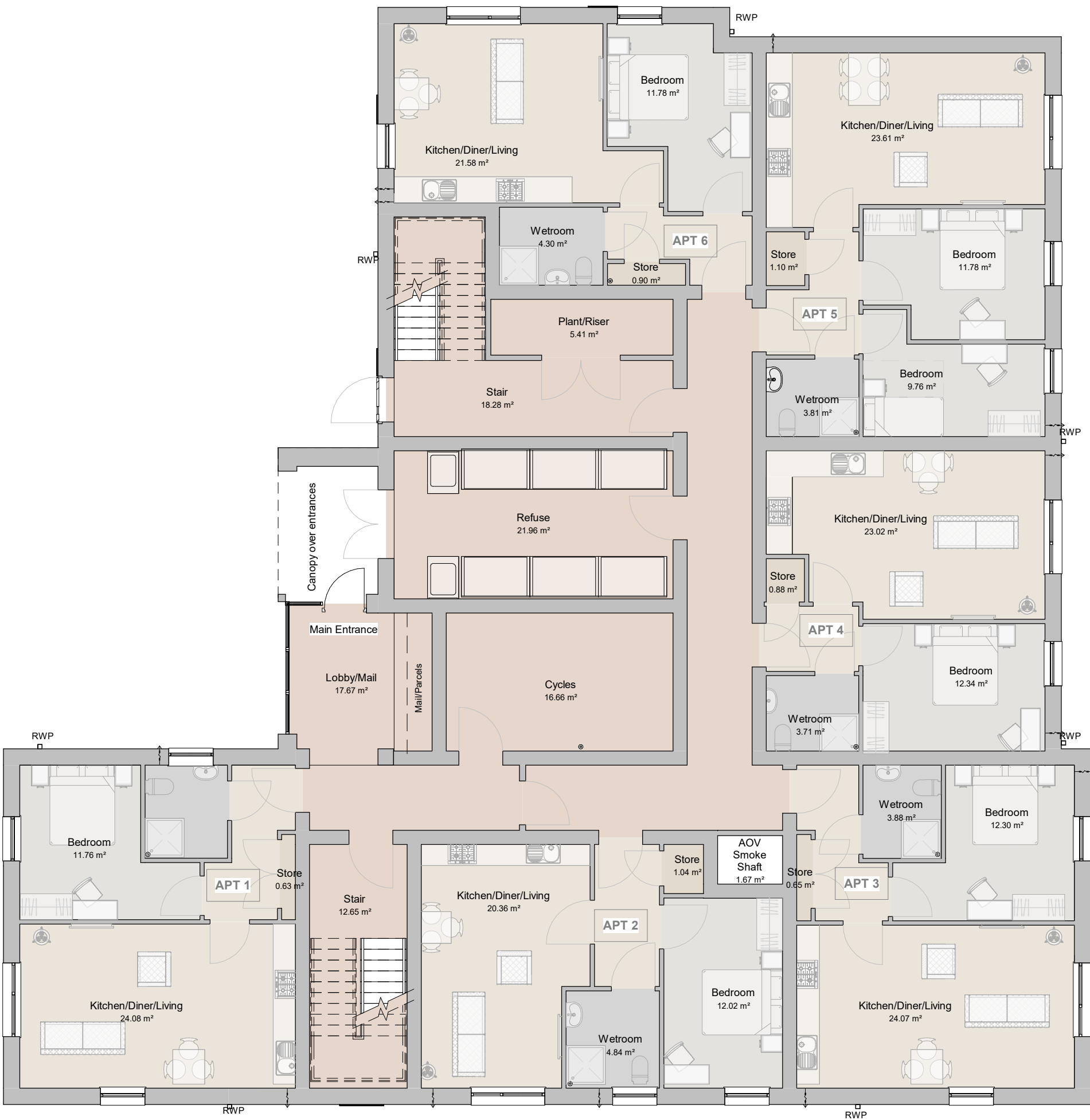
Name	Level	Area	Type
Apt 1 - GF	00 Ground Floor	47.3 m²	1B2P
Apt 2 - GF	00 Ground Floor	44.9 m²	1B2P
Apt 3 - GF	00 Ground Floor	47.5 m²	1B2P
Apt 4 - GF	00 Ground Floor	44.6 m²	1B2P
Apt 5 - GF	00 Ground Floor	57.2 m²	2B3P
Apt 6 - GF	00 Ground Floor	44.4 m²	1B2P
Apt 7 - FF	01 First Floor	47.7 m²	1B2P
Apt 8 - FF	01 First Floor	47.7 m²	1B2P
Apt 9 - FF	01 First Floor	47.1 m²	1B2P
Apt 10 - FF	01 First Floor	45.6 m²	1B2P
Apt 11 - FF	01 First Floor	57.3 m²	2B3P
Apt 12 - FF	01 First Floor	45.3 m²	1B2P
Apt 13 - FF	01 First Floor	45.8 m²	1B2P
Apt 13 - SF	02 Second Floor	47.7 m²	1B2P
Apt 15 - SF	02 Second Floor	47.7 m²	1B2P
Apt 16 - SF	02 Second Floor	47.1 m²	1B2P
Apt 17 - SF	02 Second Floor	45.6 m²	1B2P
Apt 18 - SF	02 Second Floor	57.3 m²	2B3P
Apt 19 - SF	02 Second Floor	45.3 m²	1B2P
Apt 20 - SF	02 Second Floor	45.8 m²	1B2P
		959.2 m²	

Area Schedule (GIA)

Level	Area
00 Ground Floor	436.4 m²
01 First Floor	432.6 m²
02 Second Floor	428.9 m²
1297.9 m²	

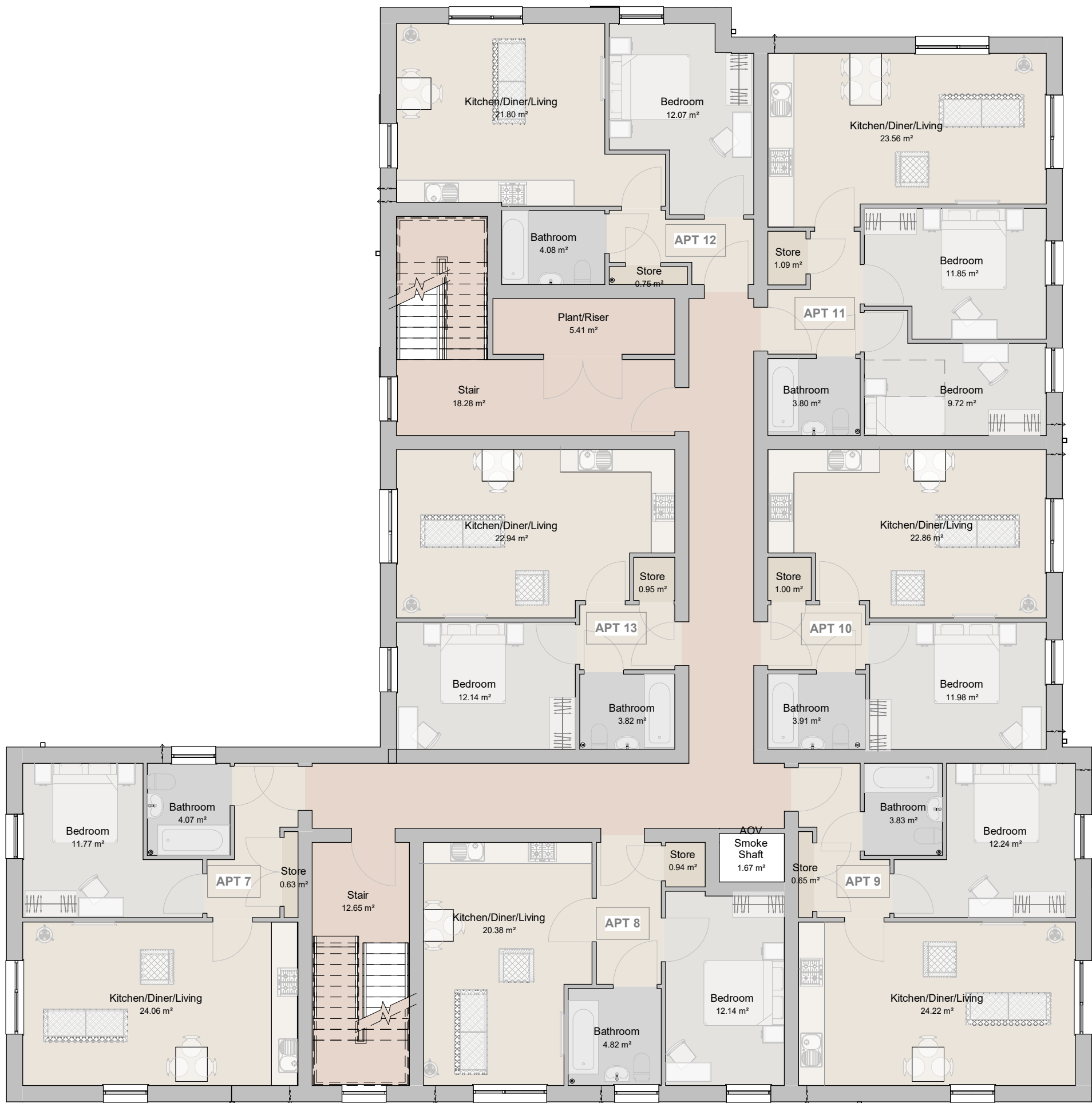
Apartment Schedule

Type	Count
1B2P	17
2B3P	3
20	



Proposed Ground Floor Plan

Scale @ 1 : 100



Proposed First Floor Plan

Scale @ 1 : 100

Refer to Drawing no - 12216-AEW-XX-XX-DR-A-524 -Proposed Second Floor & Roof Plan - Apartments For Second Floor & Roof Plan Layout

P03	30/05/22	Minor amendment to entrance canopy and window fenestration to south elevation. Alterations to canopy following fire engineer feedback	DAL	DS
P02	25/11/21	Planning Submission	DS	BR
P01	25/10/21	Issued For Client Feedback & Costing	DS	BR
Rev	Date	Description	Drawn by	Checked By
S2		For Comment		

drawing stage **Developed Design**

client

Great Places Housing Group

project

ELPM Island Site - Apartment Building

drawing title

Proposed Ground & First Floor Plans - Apartments

date 22/12/20 drawn DS
scale @ A1 1 : 100 checked BR

Rev

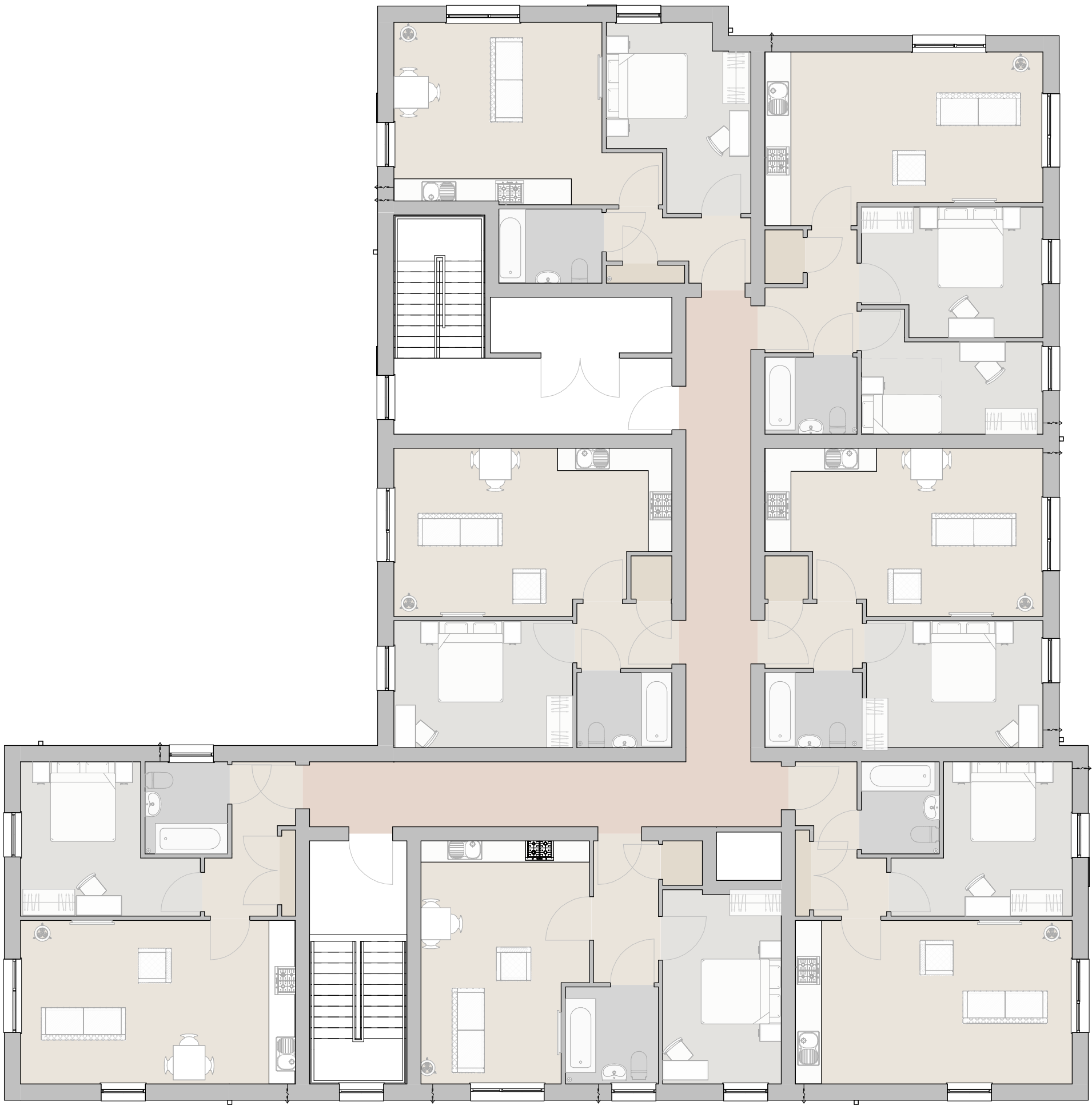
P03

12216-AEW-XX-XX-DR-A-0523

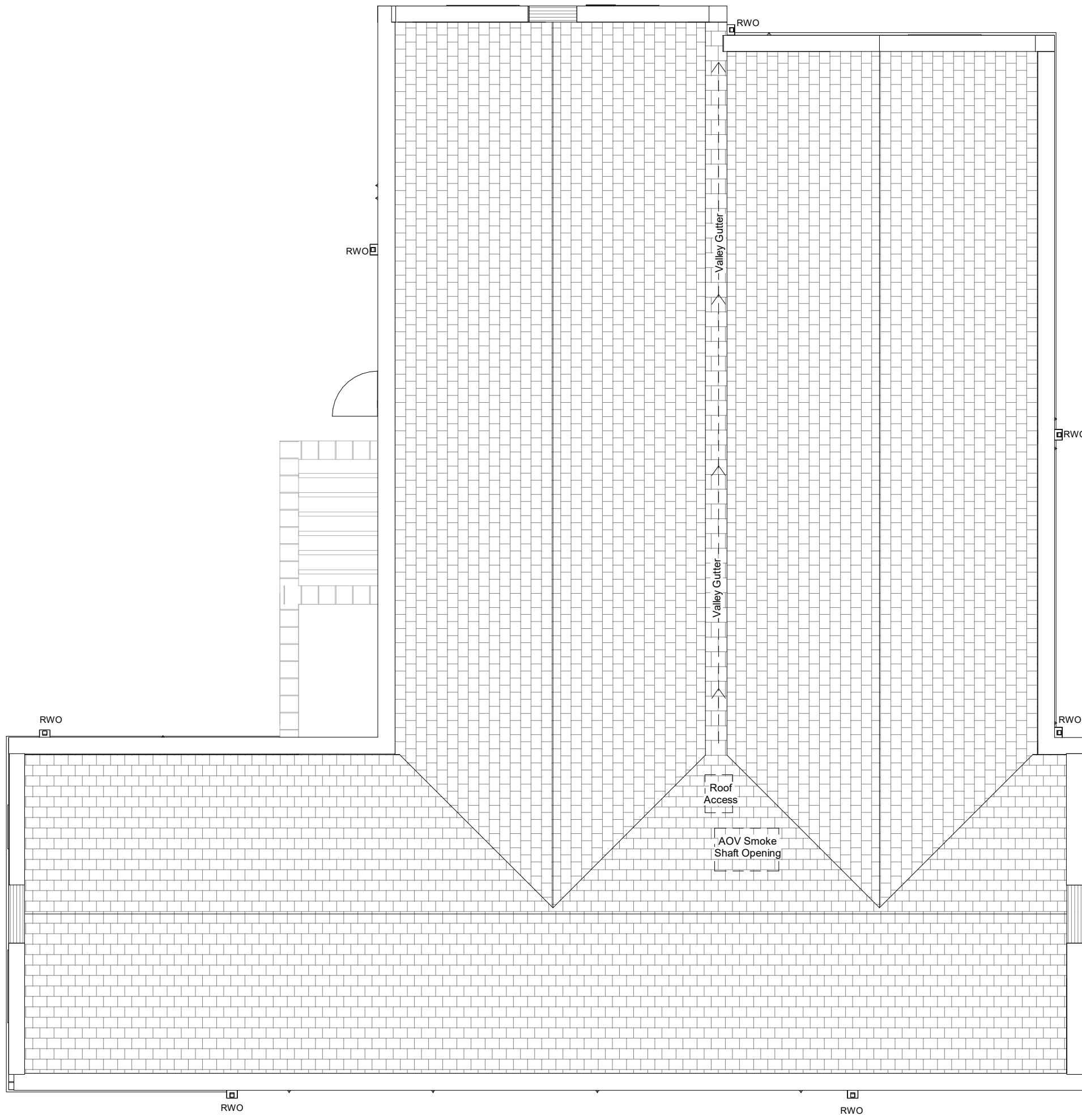
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Proposed Second Floor Plan
Scale @ 1 : 100



Proposed Roof Plan
Scale @ 1 : 100

Refer to Drawing no - 12216-AEW-XX-XX-DR-A-523-Proposed Ground & First Floor plans - Apartments For Ground & First Floor Layout

NOTES

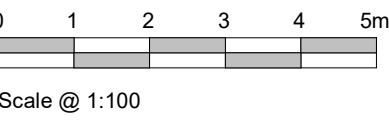
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This drawing contains the following model files: -
12XXX-AEW-XX-XX-M3-A-0001

CDM 2015

Client notified of duties: **December 2020**
Principal Designer: **CPC**

Unless noted below, all known hazards have been highlighted on the drawing:



Area Schedule (Rentable)			
Name	Level	Area	Type
Apt 1 - GF	00 Ground Floor	47.3 m²	1B2P
Apt 2 - GF	00 Ground Floor	44.9 m²	1B2P
Apt 3 - GF	00 Ground Floor	47.5 m²	1B2P
Apt 4 - GF	00 Ground Floor	44.6 m²	1B2P
Apt 5 - GF	00 Ground Floor	57.2 m²	2B3P
Apt 6 - GF	00 Ground Floor	44.4 m²	1B2P
Apt 7 - FF	01 First Floor	47.7 m²	1B2P
Apt 8 - FF	01 First Floor	47.7 m²	1B2P
Apt 9 - FF	01 First Floor	47.1 m²	1B2P
Apt 10 - FF	01 First Floor	45.6 m²	1B2P
Apt 11 - FF	01 First Floor	57.3 m²	2B3P
Apt 12 - FF	01 First Floor	45.3 m²	1B2P
Apt 13 - FF	01 First Floor	45.8 m²	1B2P
Apt 13 - SF	02 Second Floor	47.7 m²	1B2P
Apt 15 - SF	02 Second Floor	47.7 m²	1B2P
Apt 16 - SF	02 Second Floor	47.1 m²	1B2P
Apt 17 - SF	02 Second Floor	45.6 m²	1B2P
Apt 18 - SF	02 Second Floor	57.3 m²	2B3P
Apt 19 - SF	02 Second Floor	45.3 m²	1B2P
Apt 20 - SF	02 Second Floor	45.8 m²	1B2P
20		959.2 m²	

Area Schedule (GIA)		Apartment Schedule	
Level	Area	Type	Count
00 Ground Floor	436.4 m²	1B2P	17
01 First Floor	432.6 m²	2B3P	3
02 Second Floor	428.9 m²	20	
	1297.9 m²		

P03	30/05/22	Minor amendment to entrance canopy and window fenestration to south elevation. Alterations to canopy following fire engineer feedback	DAL	DS
P02	25/11/21	Planning Submission	DS	BR
P01	25/10/21	Issued For Client Feedback & Costing	DS	BR
Rev	Date	Description	Drawn by	Checked By
Status	Purpose of Issue			
S2	Planning			
drawing stage	Developed Design			
client	Great Places Housing Group			
project	ELPM Island Site - Apartment Building			
drawing title	Proposed Second Floor & Roof Plan - Apartments			
date	25/11/21	drawn	DS	
scale @ A1	1 : 100	checked	BR	

Rev
P03

Dwg No
12216-AEW-XX-XX-DR-A-0524

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Proposed West Elevation
Scale @ 1 : 100



Proposed East Elevation
Scale @ 1 : 100



Proposed North Elevation
Scale @ 1 : 100



Proposed South Elevation
Scale @ 1 : 100

NOTES

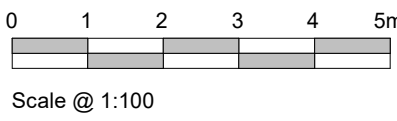
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- This drawing contains the following model files: -
12XXX-AEW-XX-XX-M3-A-0001

CDM 2015

Client notified of duties: **December 2020**
Principal Designer: **CPC**

Unless noted below, all known hazards have been highlighted on the drawing:

RWP	Rain water downpipe
RWO	Rain water outlet
SVP	Soil Vent pipe
AAV	Air Admittance Valve
WFB	Wall mounted bathroom extract fan (min extract rate of 15 ltr/sec)
CFB	Cavity Fire Barrier
WFK	Wall mounted Kitchen extract fan (min extract rate of 60 ltr/sec)
BF	Boiler flue
EXL	Low Energy External light fitting with PIR sensor (min efficacy of 40 lumens per circuit watt) to comply with SED.
L	Glazing with laminated glass outer leaf
T	Glazing with toughened inner leaf
E	Egress windows to comply with building Regulations requirements
OB	Glazing with Obscure glass
G	Gas Meter
E	Electricity Meter
RL	Roof Light
AH	Access Hatch



P03	30/05/22	Minor amendment to entrance canopy and window fenestration to south elevation. Alterations to canopy following fire engineer feedback	DAL	DS
P02	25/11/21	Planning Submission	DS	BR
P01	25/10/21	Issued For Client Feedback & Costing	DS	BR
Rev	Date	Description	Drawn By	Checked By

Status: **S2** Purpose of Issue: **For Information**

drawing stage: **Developed Design**

client: **Great Places Housing Group**

project: **ELPM Island Site - Apartment Building**

drawing title: **Proposed Apartment Elevations**

date	25.11.21	drawn	DS
scale @ A1	As indicated	checked	BR

Rev: **P03**

Dwg No: **12216-AEW-XX-XX-DR-A-0525**

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